



2019

CAVE CREEK

MARKET REPORT

March 2019



Scottsdale Area Association of REALTORS®
8600 E Anderson Dr., Suite 200 Scottsdale, AZ 85255
ScottsdaleREALTORS.org
480-945-2651



Summary of Key Listing and Sales Metrics

A summary of the key metrics selected to be included in the report. MLS sources where licensed.

Key Metrics	Mar 2019	Mar 2018	+ / -	YTD 2019	YTD 2018	+ / -
Listing Activity Charts Metrics						
New Listing Count	108	121	-10.7%	342	323	+5.9%
New Listing Volume	\$60,831,617	\$68,649,180	-11.4%	\$210,353,933	\$188,307,577	+11.7%
Active Listing Count	270	337	-19.9%	N/A	N/A	
Active Listing Volume	\$215,345,243	\$233,702,179	-7.9%	N/A	N/A	
Average Listing Price	\$797,575	\$693,478	+15%	\$779,272	\$697,260	+11.8%
Median Listing Price	\$642,000	\$571,500	+12.3%	\$608,456	\$577,989	+5.3%
Average Listing Price per Sq Ft	\$257	\$232	+10.8%	\$250	\$234	+6.7%
Median Listing Price per Sq Ft	\$223	\$208	+7.5%	\$219	\$208	+5.1%
Median Days in RPR	67.5	64	+5.5%	62.69	68.24	-8.1%
Months of Inventory	5.7	6.6	-13.1%	4.8	5.7	-15.9%
Absorption Rate	17.41%	15.13%	+2.3%	20.91%	17.57%	+3.3%
Sales Activity Charts Metrics						
New Pending Sales Count	124	101	+22.8%	277	249	+11.2%
New Pending Sales Volume	\$68,133,473	\$52,866,303	+28.9%	\$148,546,945	\$129,651,672	+14.6%
Pending Sales Count	130	79	+64.6%	N/A	N/A	
Pending Sales Volume	\$73,293,429	\$45,341,400	+61.6%	N/A	N/A	
Closed Sales Count	81	73	+11%	158	184	-14.1%
Closed Sales Volume	\$42,092,730	\$40,322,550	+4.4%	\$81,560,661	\$93,463,834	-12.7%
Average Sales Price	\$519,663	\$552,364	-5.9%	\$516,207	\$507,956	+1.6%
Median Sales Price	\$510,000	\$495,000	+3%	\$471,266	\$453,455	+3.9%
Average Sales Price per Sq Ft	\$209	\$210	-0.6%	\$211	\$208	+1.1%
Median Sales Price per Sq Ft	\$206	\$202	+2%	\$208	\$199	+4.6%
Distressed Charts Metrics						
Distressed Listing Count	1	4	-75%	N/A	N/A	

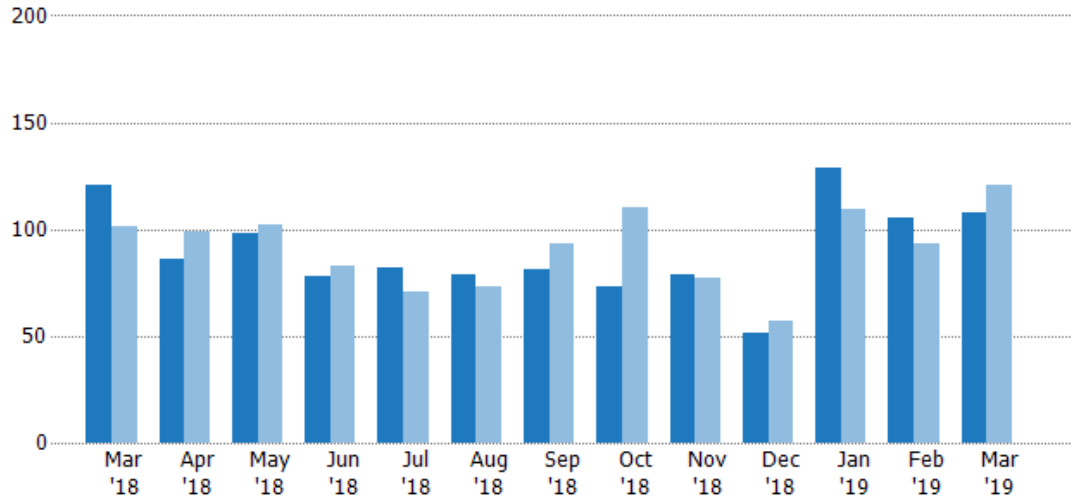
New Listings

The number of new residential listings that were added each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/Year	Count	% Chg.
Mar '19	108	-10.7%
Mar '18	121	19.8%
Mar '17	101	-2%



Current Year	121	86	98	78	82	79	81	73	79	51	129	105	108
Prior Year	101	99	102	83	71	73	93	110	77	57	109	93	121
Percent Change from Prior Year	20%	-13%	-4%	-6%	15%	8%	-13%	-34%	3%	-11%	18%	13%	-11%

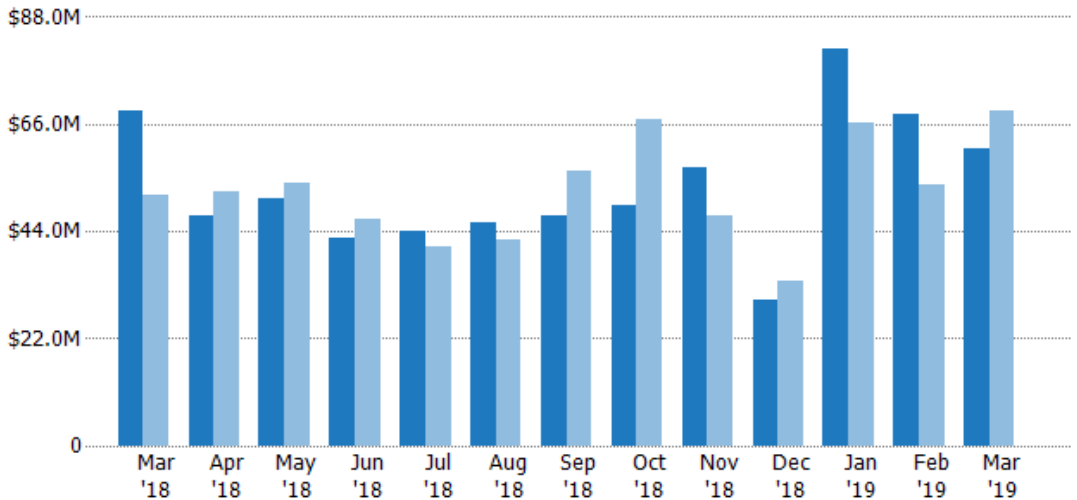
New Listing Volume

The sum of the listing price of residential listings that were added each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/Year	Volume	% Chg.
Mar '19	\$60.8M	-11.4%
Mar '18	\$68.6M	33%
Mar '17	\$51.6M	8.4%



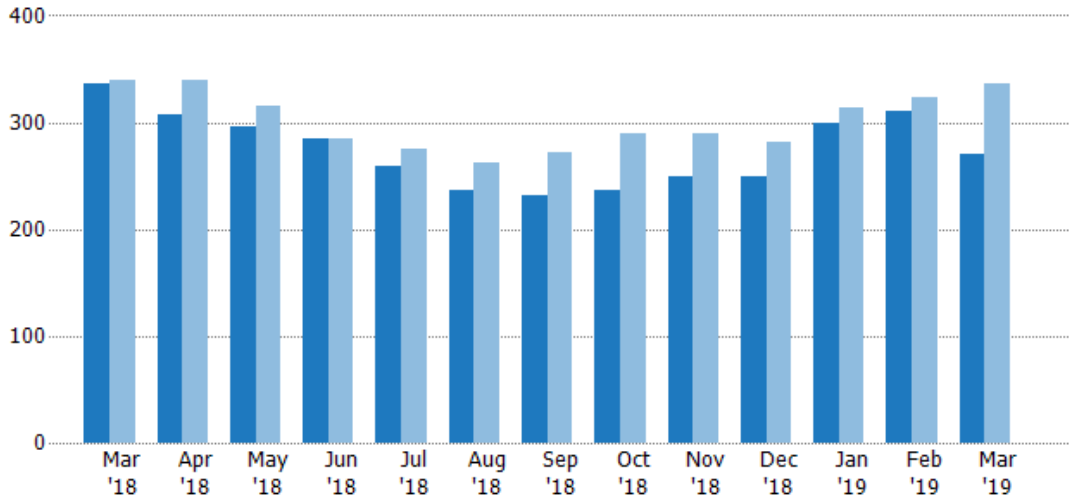
Current Year	\$68.6M	\$47.2M	\$50.8M	\$42.6M	\$44.1M	\$45.9M	\$47.3M	\$49.3M	\$57M	\$29.9M	\$81.6M	\$67.9M	\$60.8M
Prior Year	\$51.6M	\$52.3M	\$53.8M	\$46.5M	\$40.8M	\$42.4M	\$56.3M	\$66.9M	\$47.2M	\$33.9M	\$66.1M	\$53.5M	\$68.6M
Percent Change from Prior Year	33%	-10%	-5%	-8%	8%	8%	-16%	-26%	21%	-12%	23%	27%	-11%

Active Listings

The number of active residential listings at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



Month/Year	Count	% Chg.
Mar '19	270	-19.9%
Mar '18	337	-0.9%
Mar '17	340	15.6%

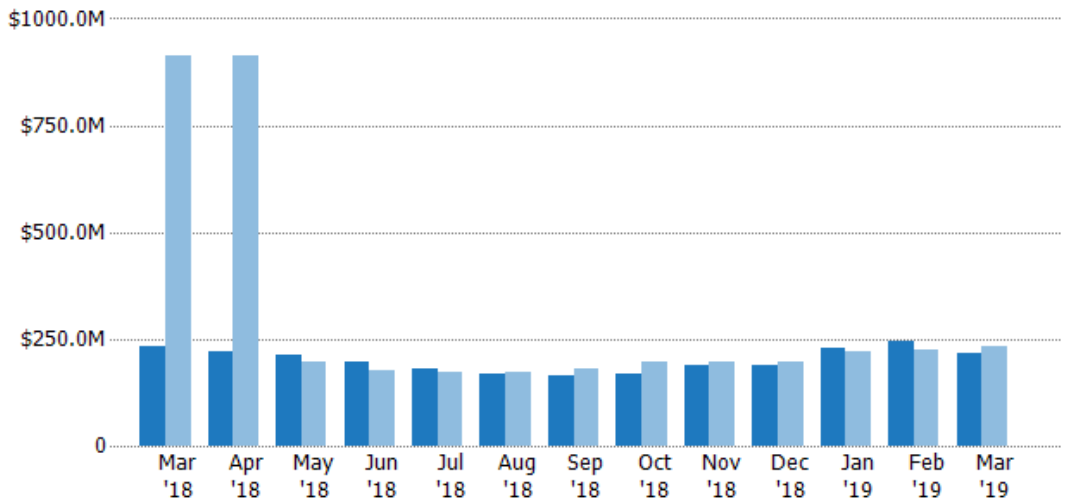
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	337	308	296	284	259	237	232	237	249	250	299	311	270
Prior Year	340	339	315	284	275	262	272	290	289	282	313	323	337
Percent Change from Prior Year	-1%	-9%	-6%	0%	-6%	-10%	-15%	-18%	-14%	-11%	-4%	-4%	-20%

Active Listing Volume

The sum of the listing price of active residential listings at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



Month/Year	Volume	% Chg.
Mar '19	\$215M	-7.9%
Mar '18	\$234M	-74.5%
Mar '17	\$915M	-73.2%

	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	\$234M	\$219M	\$212M	\$198M	\$182M	\$168M	\$165M	\$170M	\$190M	\$188M	\$227M	\$243M	\$215M
Prior Year	\$915M	\$911M	\$197M	\$176M	\$174M	\$173M	\$181M	\$197M	\$198M	\$196M	\$219M	\$226M	\$234M
Percent Change from Prior Year	-74%	-76%	8%	12%	4%	-3%	-9%	-14%	-4%	-4%	4%	8%	-8%

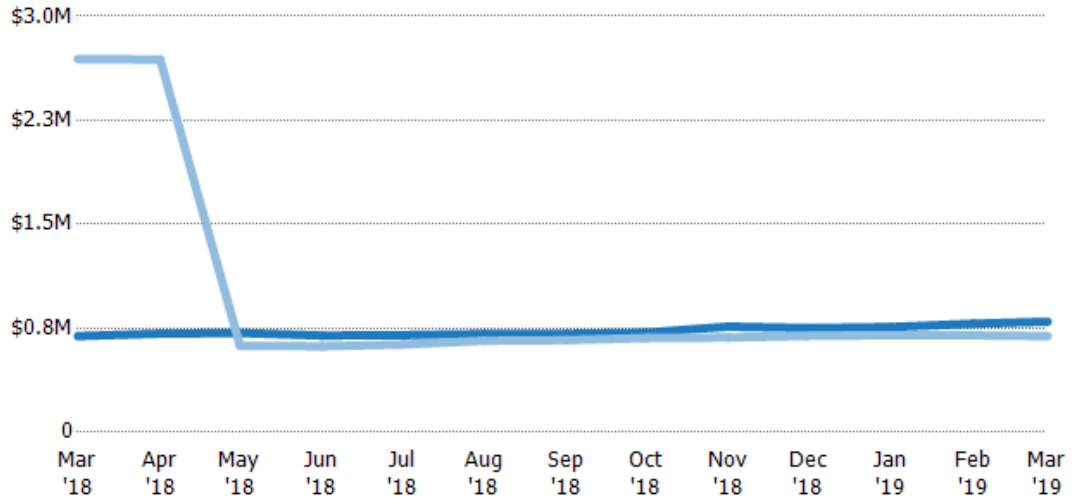
Average Listing Price

The average listing price of active residential listings at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Price	% Chg.
Mar '19	\$798K	15%
Mar '18	\$693K	-74.2%
Mar '17	\$2.69M	-76.8%



Current Year	\$693K	\$711K	\$716K	\$697K	\$701K	\$709K	\$710K	\$719K	\$762K	\$751K	\$759K	\$783K	\$798K
Prior Year	\$2.69M	\$2.69M	\$624K	\$620K	\$634K	\$660K	\$665K	\$680K	\$683K	\$695K	\$700K	\$699K	\$693K
Percent Change from Prior Year	-74%	-74%	15%	12%	11%	7%	7%	6%	12%	8%	8%	12%	15%

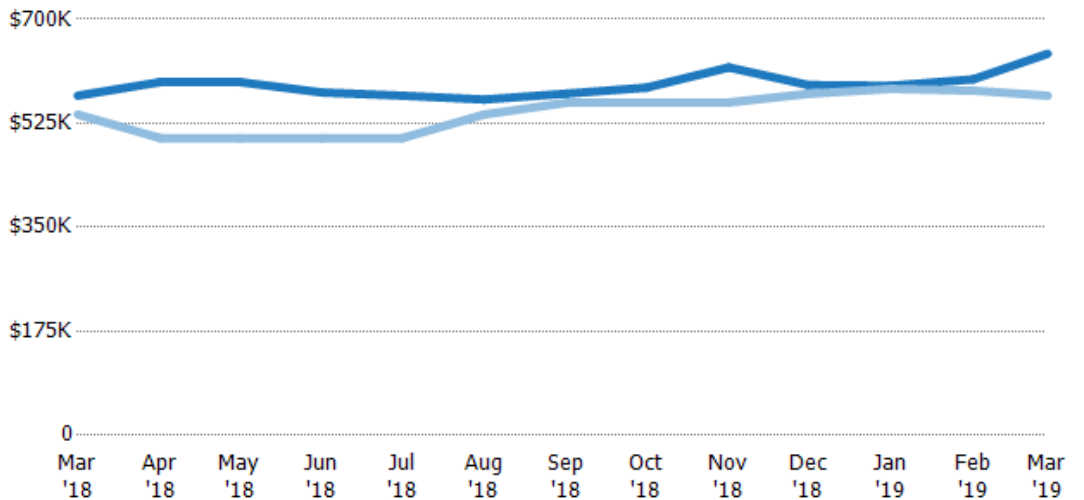
Median Listing Price

The median listing price of active residential listings at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Price	% Chg.
Mar '19	\$642K	12.3%
Mar '18	\$572K	5.9%
Mar '17	\$540K	-2.7%



Current Year	\$572K	\$594K	\$594K	\$577K	\$572K	\$565K	\$575K	\$585K	\$619K	\$589K	\$588K	\$599K	\$642K
Prior Year	\$540K	\$500K	\$500K	\$500K	\$500K	\$540K	\$560K	\$560K	\$560K	\$575K	\$583K	\$580K	\$572K
Percent Change from Prior Year	6%	19%	19%	15%	14%	5%	3%	5%	11%	3%	1%	3%	12%

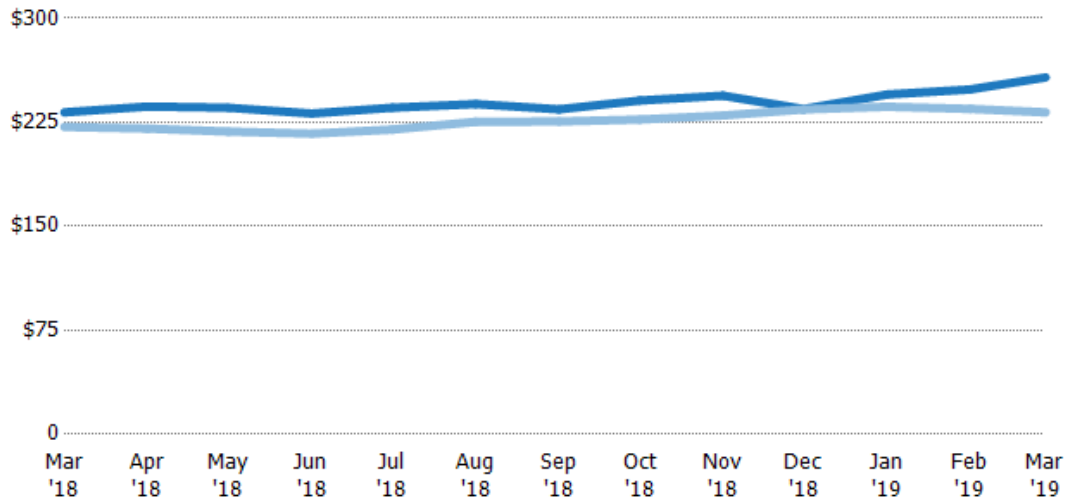
Average Listing Price per Sq Ft

The average of listing prices divided by the living area of homes on market at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
Saved Area
Property Type:
Condo/Townhouse/Apt, Single
Family Residence

Month/ Year	Price/sq ft	% Chg.
Mar '19	\$257	10.8%
Mar '18	\$232	4.8%
Mar '17	\$222	-3.3%



Current Year	\$232	\$236	\$235	\$231	\$236	\$238	\$234	\$241	\$244	\$235	\$245	\$249	\$257
Prior Year	\$222	\$220	\$218	\$217	\$220	\$225	\$226	\$227	\$230	\$234	\$236	\$235	\$232
Percent Change from Prior Year	5%	7%	8%	7%	7%	6%	4%	6%	6%	0%	4%	6%	11%

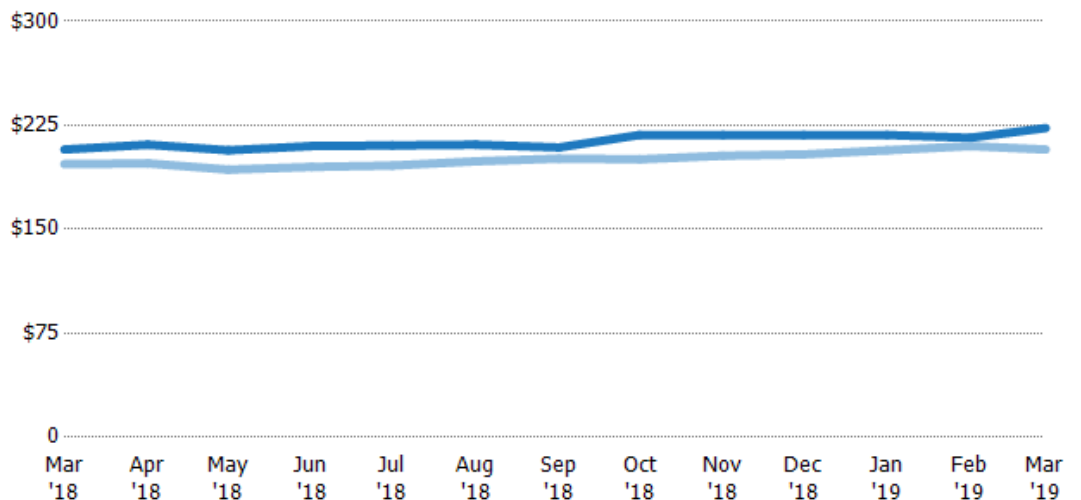
Median Listing Price per Sq Ft

The median of listing prices divided by the living area of homes on market at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
Saved Area
Property Type:
Condo/Townhouse/Apt, Single
Family Residence

Month/ Year	Price/sq ft	% Chg.
Mar '19	\$223	7.5%
Mar '18	\$208	5.3%
Mar '17	\$197	-4.1%



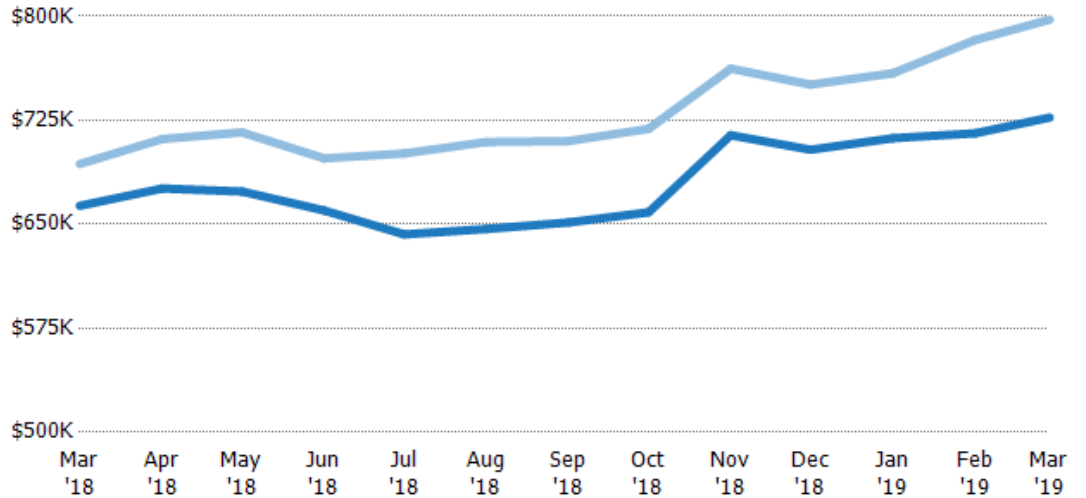
Current Year	\$208	\$211	\$207	\$210	\$211	\$211	\$209	\$218	\$218	\$218	\$218	\$216	\$223
Prior Year	\$197	\$198	\$193	\$195	\$196	\$199	\$201	\$201	\$203	\$204	\$207	\$210	\$208
Percent Change from Prior Year	5%	7%	7%	8%	7%	6%	4%	9%	7%	7%	5%	3%	7%

Average Listing Price vs Average Est Value

The average listing price as a percentage of the average AVM or RVM® valuation estimate for active listings each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

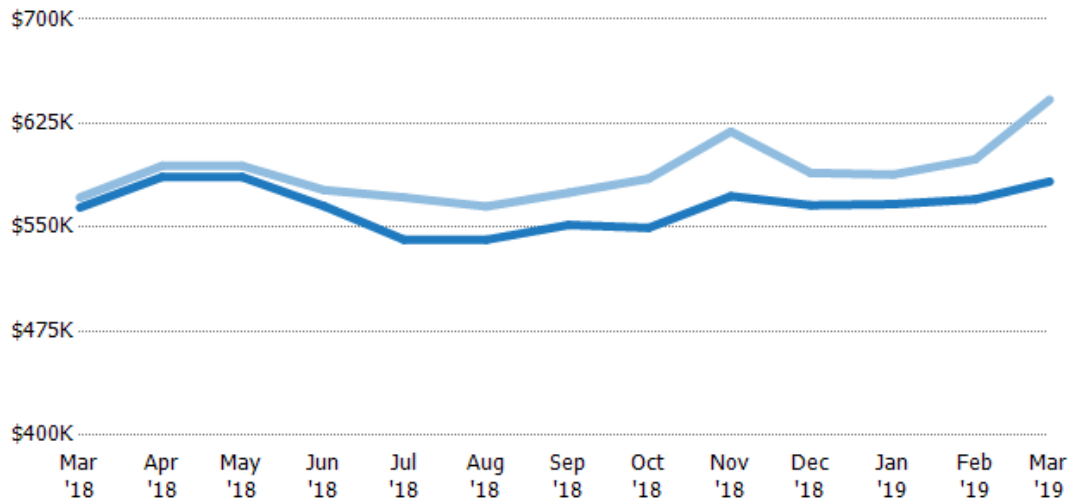


Median Listing Price vs Median Est Value

The median listing price as a percentage of the median AVM or RVM® valuation estimate for active listings each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

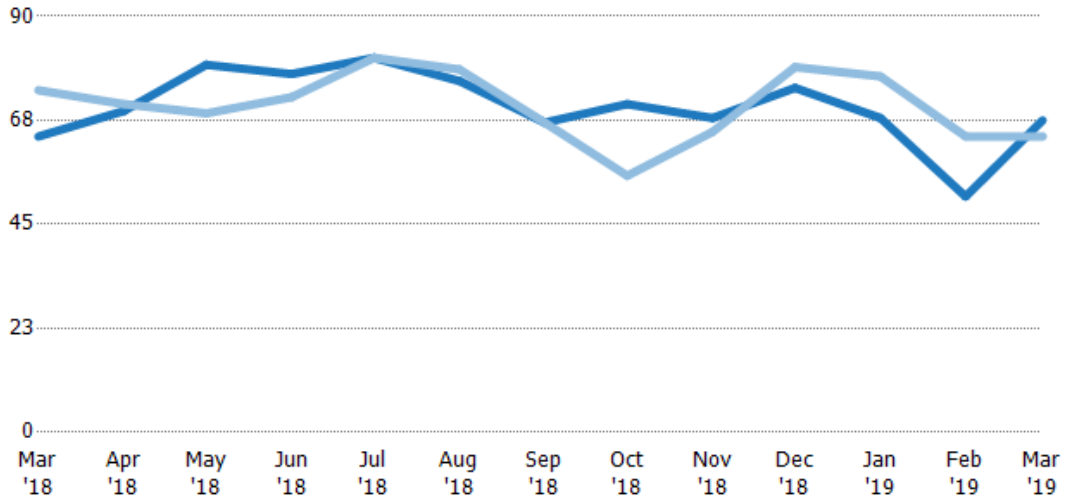


Median Days in RPR

The median number of days between when residential properties are first displayed as active listings in RPR and when accepted offers have been noted in RPR.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



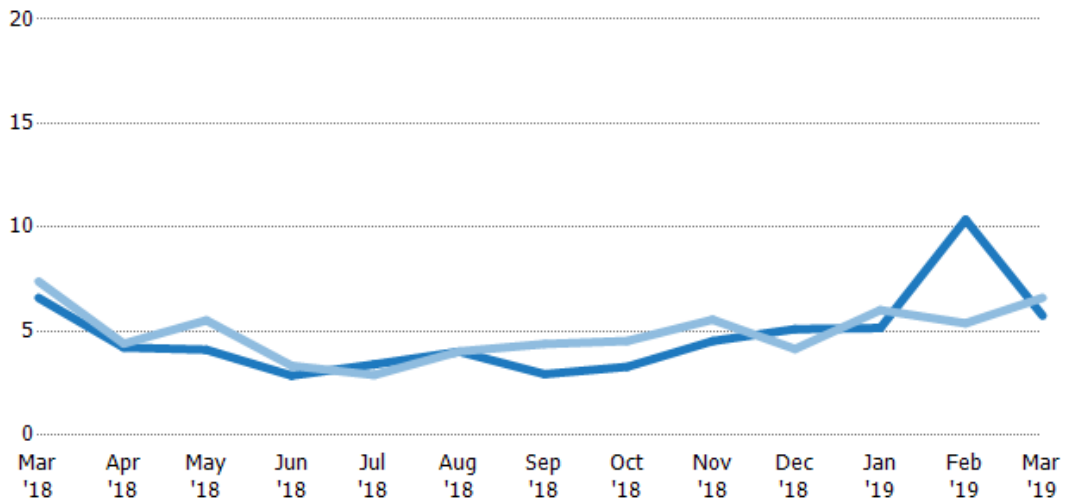
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	64	69.5	79.5	77.5	81	76	67	71	68	74.5	68	51	67.5
Prior Year	74	71	69	72.5	81	78.5	67	55.5	65	79	77	64	64
Percent Change from Prior Year	-14%	-2%	15%	7%	0%	-3%	0%	28%	5%	-6%	-12%	-20%	5%

Months of Inventory

The number of months it would take to exhaust active listings at the current sales rate.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



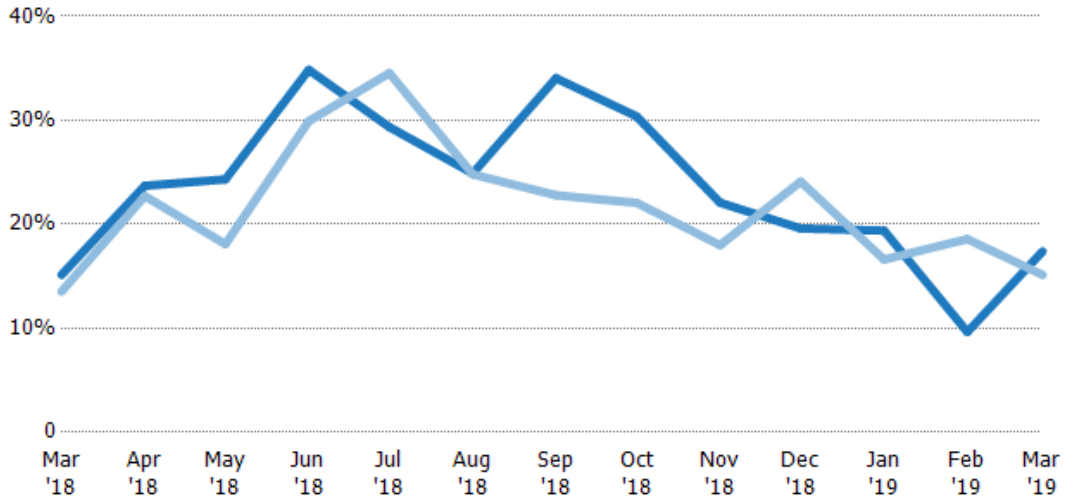
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	6.61	4.22	4.11	2.87	3.41	4.02	2.94	3.29	4.53	5.1	5.16	10.4	5.74
Prior Year	7.39	4.4	5.53	3.34	2.89	4.03	4.39	4.53	5.56	4.15	6.02	5.38	6.61
Percent Change from Prior Year	-11%	-4%	-26%	-14%	18%	0%	-33%	-27%	-19%	23%	-14%	93%	-13%

Absorption Rate

The percentage of inventory sold per month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



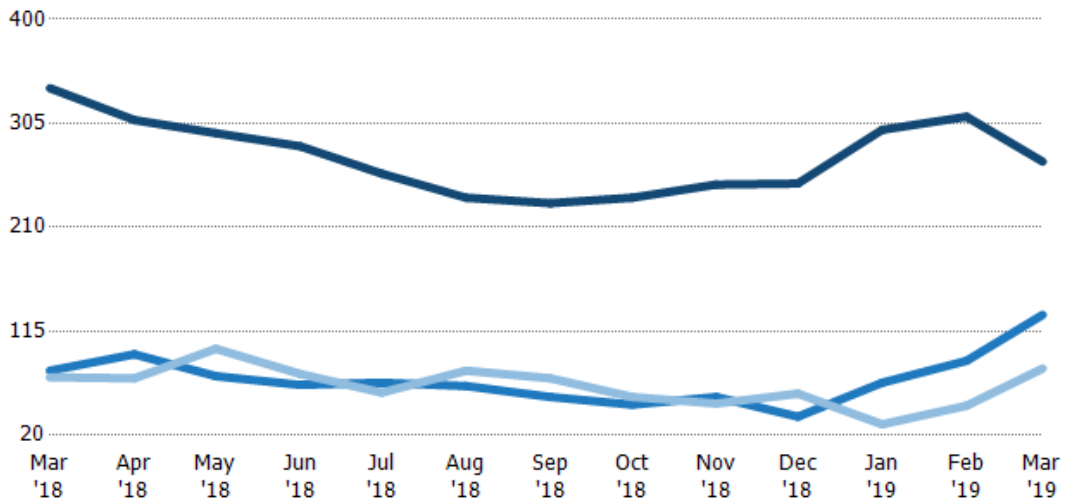
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	15%	24%	24%	35%	29%	25%	34%	30%	22%	20%	19%	10%	17%
Prior Year	14%	23%	18%	30%	35%	25%	23%	22%	18%	24%	17%	19%	15%
Change from Prior Year	-2%	-1%	-6%	-5%	5%	0%	-11%	-8%	-4%	5%	-3%	9%	-2%

Active/Pending/Sold Units

The number of residential properties that were Active, Pending and Sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Active	337	308	296	284	259	237	232	237	249	250	299	311	270
Pending	79	94	74	66	68	65	55	48	55	37	68	88	130
Sold	73	72	99	76	59	79	72	55	49	58	30	47	81

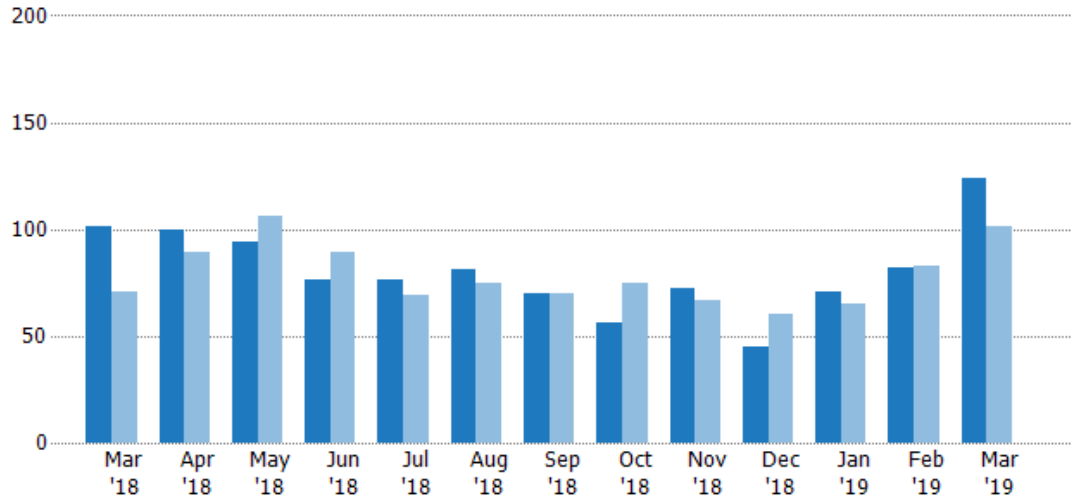
New Pending Sales

The number of residential properties with accepted offers that were added each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Count	% Chg.
Mar '19	124	22.8%
Mar '18	101	42.3%
Mar '17	71	8.5%



Current Year	101	100	94	76	76	81	70	56	72	45	71	82	124
Prior Year	71	89	106	89	69	75	70	75	67	60	65	83	101
Percent Change from Prior Year	42%	12%	-11%	-15%	10%	8%	0%	-25%	7%	-25%	9%	-1%	23%

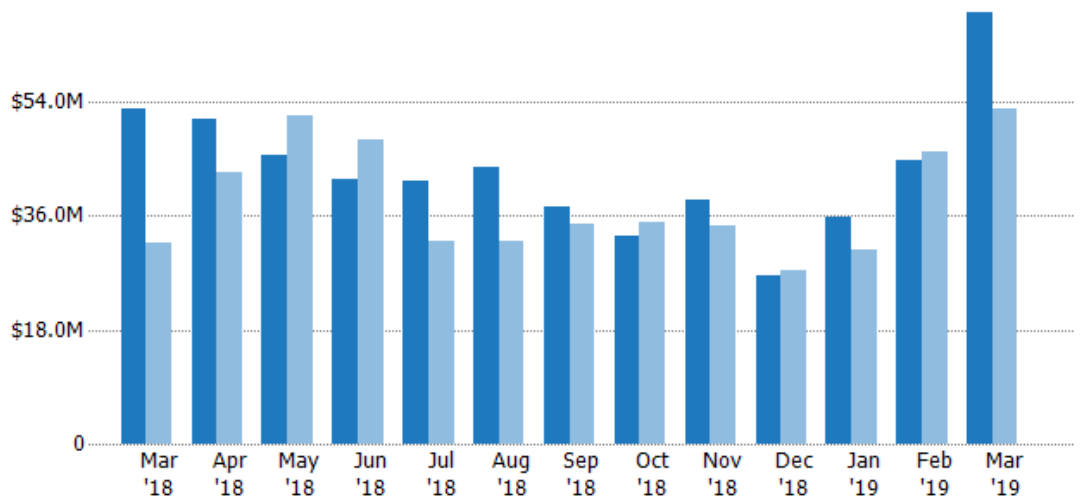
New Pending Sales Volume

The sum of the sales price of residential properties with accepted offers that were added each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Volume	% Chg.
Mar '19	\$68.1M	28.9%
Mar '18	\$52.9M	66.5%
Mar '17	\$31.7M	29.4%



Current Year	\$52.9M	\$51.1M	\$45.5M	\$41.7M	\$41.5M	\$43.7M	\$37.4M	\$32.9M	\$38.6M	\$26.5M	\$35.8M	\$44.6M	\$68.1M
Prior Year	\$31.7M	\$42.9M	\$51.8M	\$48.1M	\$32M	\$32M	\$34.7M	\$35.1M	\$34.5M	\$27.3M	\$30.6M	\$46.2M	\$52.9M
Percent Change from Prior Year	67%	19%	-12%	-13%	30%	36%	8%	-6%	12%	-3%	17%	-3%	29%

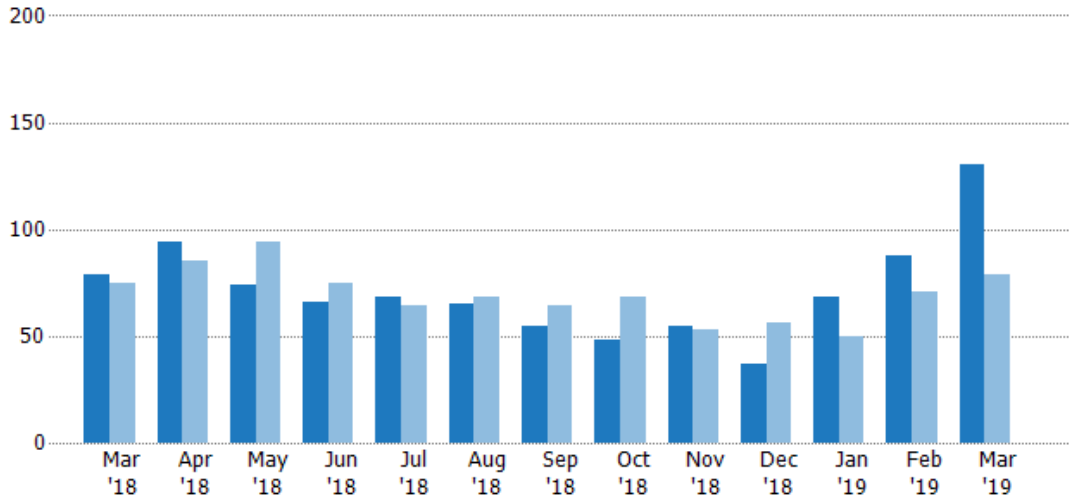
Pending Sales

The number of residential properties with accepted offers that were available at the end each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Count	% Chg.
Mar '19	130	64.6%
Mar '18	79	5.3%
Mar '17	75	-10.7%



Current Year	79	94	74	66	68	65	55	48	55	37	68	88	130
Prior Year	75	85	94	75	64	68	64	68	53	56	50	71	79
Percent Change from Prior Year	5%	11%	-21%	-12%	6%	-4%	-14%	-29%	4%	-34%	36%	24%	65%

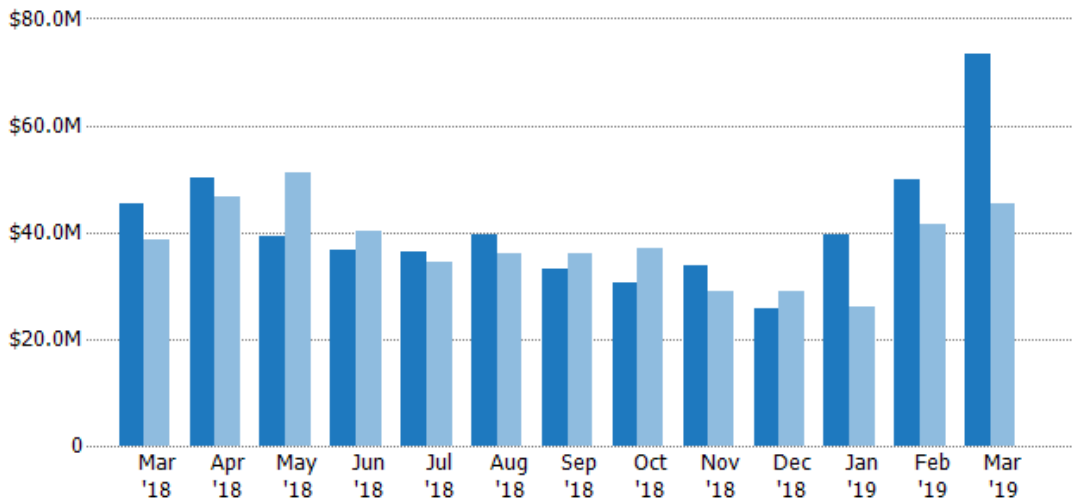
Pending Sales Volume

The sum of the sales price of residential properties with accepted offers that were available at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Volume	% Chg.
Mar '19	\$73.3M	61.6%
Mar '18	\$45.3M	17.6%
Mar '17	\$38.6M	-14.9%



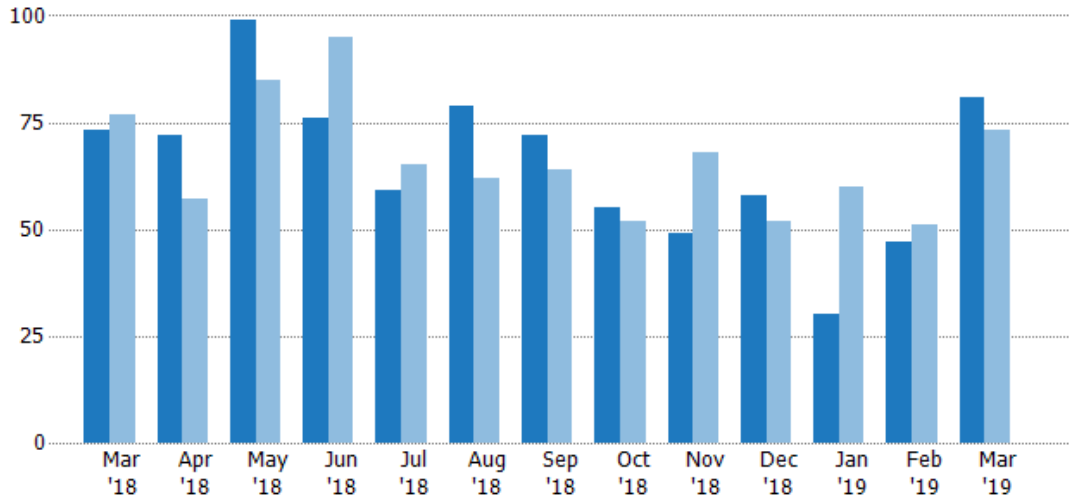
Current Year	\$45.3M	\$50.2M	\$39.2M	\$36.8M	\$36.4M	\$39.5M	\$33M	\$30.6M	\$33.8M	\$25.8M	\$39.6M	\$50M	\$73.3M
Prior Year	\$38.6M	\$46.6M	\$51.3M	\$40.2M	\$34.5M	\$36M	\$36.2M	\$36.9M	\$28.9M	\$28.8M	\$26M	\$41.5M	\$45.3M
Percent Change from Prior Year	18%	8%	-24%	-8%	5%	10%	-9%	-17%	17%	-11%	52%	20%	62%

Closed Sales

The total number of residential properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



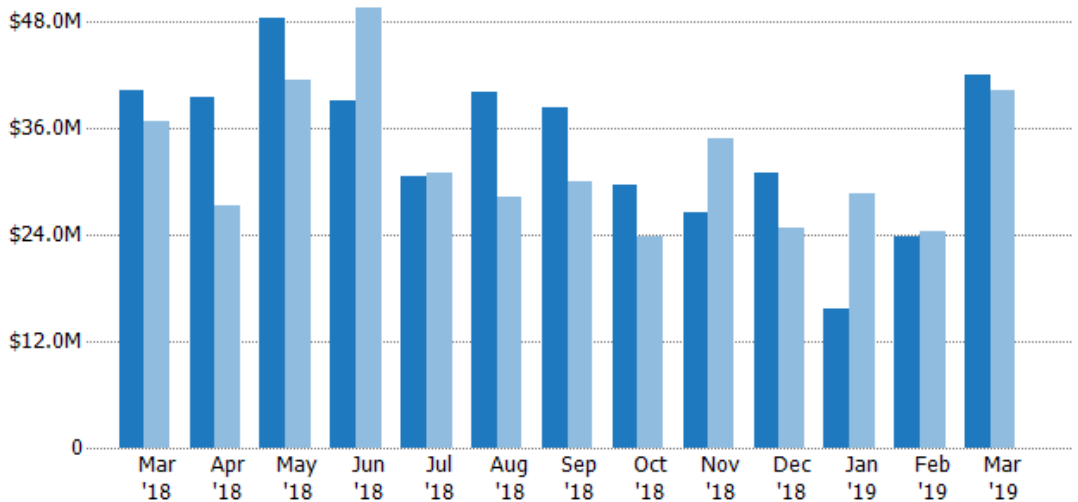
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	73	72	99	76	59	79	72	55	49	58	30	47	81
Prior Year	77	57	85	95	65	62	64	52	68	52	60	51	73
Percent Change from Prior Year	-5%	26%	16%	-20%	-9%	27%	13%	6%	-28%	12%	-50%	-8%	11%

Closed Sales Volume

The sum of the sales price of residential properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



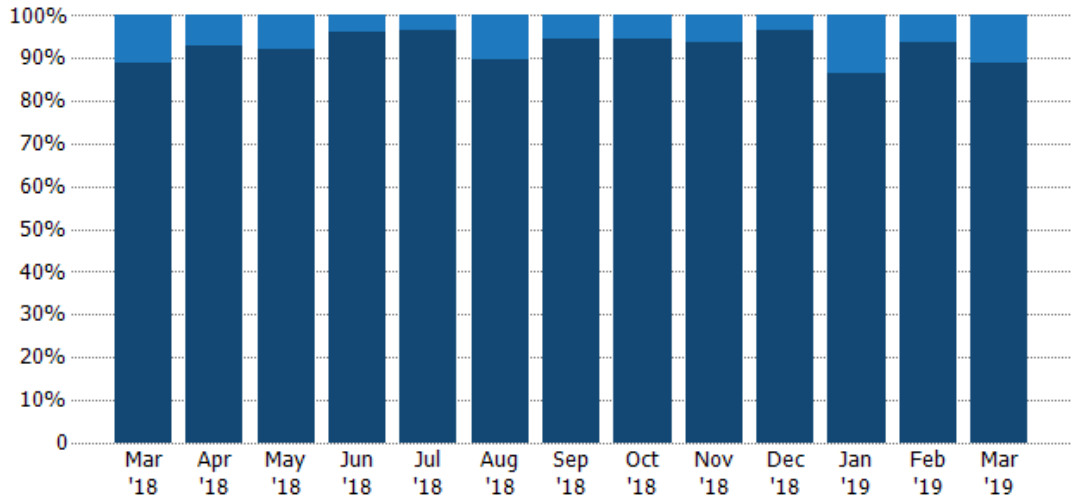
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	\$40.3M	\$39.5M	\$48.4M	\$39.2M	\$30.6M	\$40M	\$38.4M	\$29.6M	\$26.5M	\$31M	\$15.6M	\$23.9M	\$42.1M
Prior Year	\$36.8M	\$27.3M	\$41.4M	\$49.5M	\$31M	\$28.2M	\$30.1M	\$23.8M	\$34.9M	\$24.8M	\$28.8M	\$24.4M	\$40.3M
Percent Change from Prior Year	10%	44%	17%	-21%	-1%	42%	28%	24%	-24%	25%	-46%	-2%	4%

Closed Sales by Property Type

The percentage of residential properties sold each month by property type.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



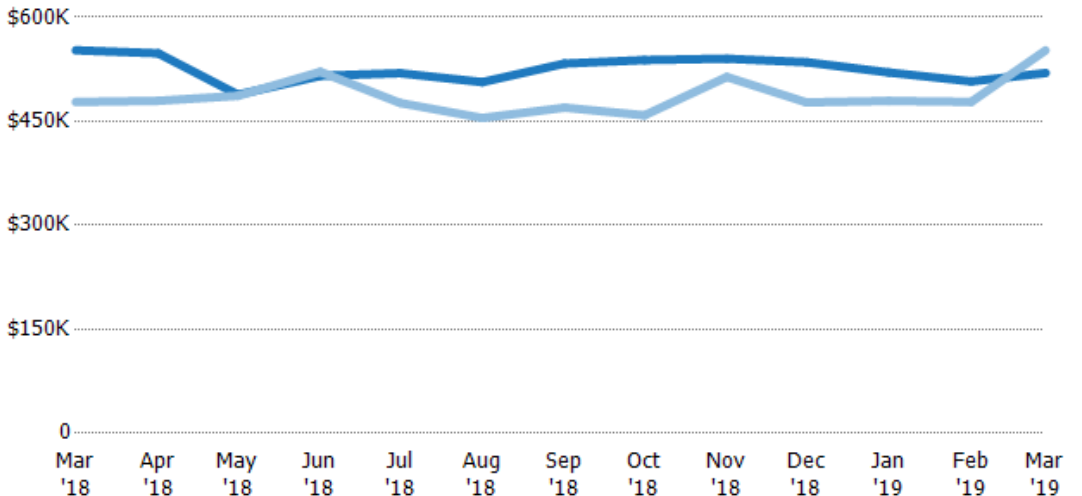
Condo/Townhouse	11%	7%	8%	4%	3%	10%	6%	5%	6%	3%	13%	6%	11%
Single Family Residence	89%	93%	92%	96%	97%	90%	94%	95%	94%	97%	87%	94%	89%

Average Sales Price

The average sales price of the residential properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



Current Year	\$552K	\$548K	\$488K	\$516K	\$519K	\$507K	\$533K	\$538K	\$540K	\$535K	\$520K	\$508K	\$520K
Prior Year	\$478K	\$480K	\$487K	\$521K	\$476K	\$455K	\$470K	\$459K	\$514K	\$477K	\$479K	\$478K	\$552K
Percent Change from Prior Year	16%	14%	0%	-1%	9%	11%	14%	17%	5%	12%	9%	6%	-6%

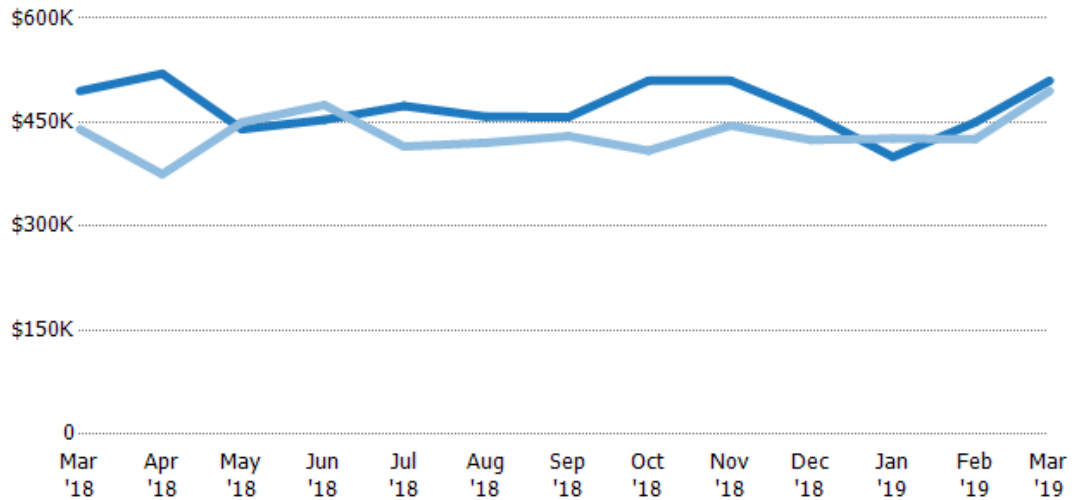
Median Sales Price

The median sales price of the residential properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Price	% Chg.
Mar '19	\$510K	3%
Mar '18	\$495K	12.5%
Mar '17	\$440K	-5%



	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	\$495K	\$520K	\$440K	\$454K	\$474K	\$458K	\$458K	\$510K	\$510K	\$462K	\$400K	\$450K	\$510K
Prior Year	\$440K	\$375K	\$450K	\$475K	\$415K	\$420K	\$430K	\$409K	\$445K	\$425K	\$427K	\$426K	\$495K
Percent Change from Prior Year	13%	39%	-2%	-5%	14%	9%	6%	25%	15%	9%	-6%	6%	3%

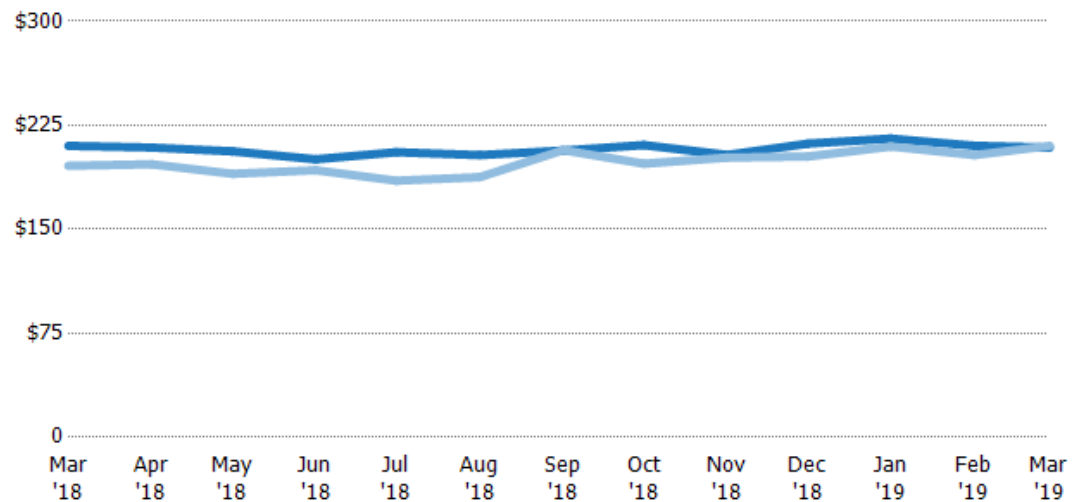
Average Sales Price per Sq Ft

The average of the sales price divided by the living area of properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence

Month/ Year	Price/sq ft	% Chg.
Mar '19	\$209	-0.6%
Mar '18	\$210	7.3%
Mar '17	\$196	-11%



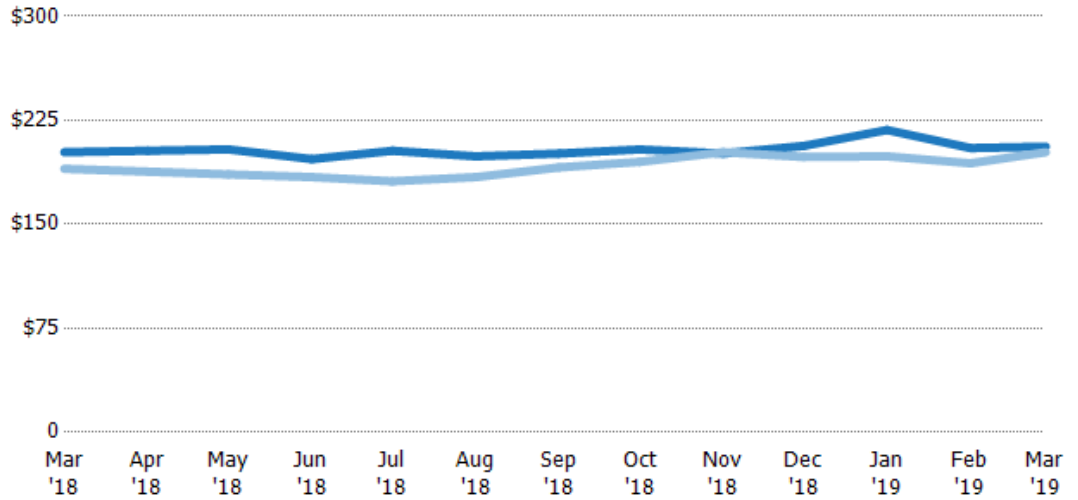
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	\$210	\$209	\$206	\$200	\$206	\$204	\$207	\$211	\$204	\$212	\$215	\$210	\$209
Prior Year	\$196	\$197	\$190	\$193	\$185	\$188	\$207	\$197	\$202	\$202	\$210	\$204	\$210
Percent Change from Prior Year	7%	6%	8%	4%	11%	8%	0%	7%	1%	5%	3%	3%	-1%

Median Sales Price per Sq Ft

The median of the sales price divided by the living area of properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



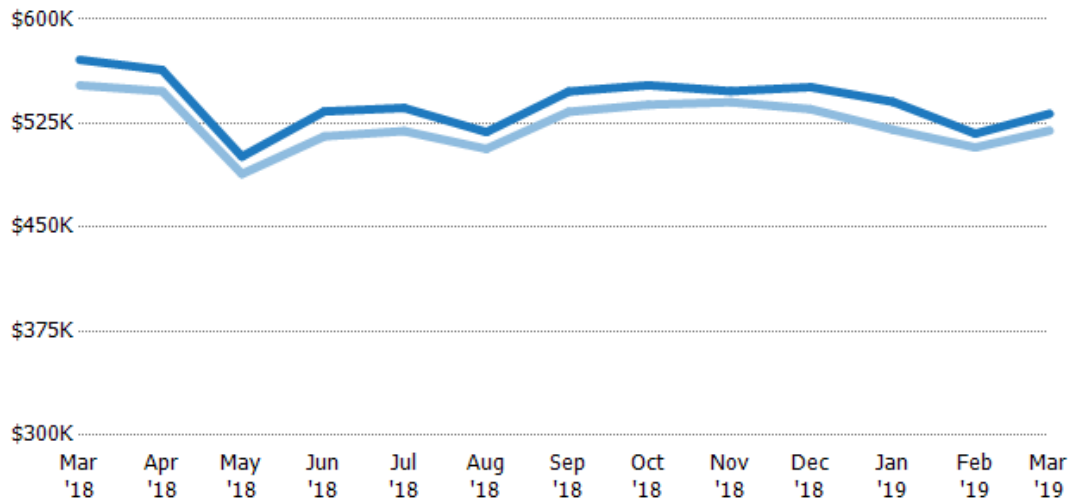
Month/Year	Current Year	Prior Year	Percent Change from Prior Year
Mar '18	\$202	\$190	6%
Apr '18	\$203	\$188	8%
May '18	\$204	\$186	10%
Jun '18	\$197	\$184	7%
Jul '18	\$203	\$181	12%
Aug '18	\$199	\$184	8%
Sep '18	\$201	\$191	5%
Oct '18	\$204	\$195	5%
Nov '18	\$201	\$202	0%
Dec '18	\$207	\$199	4%
Jan '19	\$218	\$199	10%
Feb '19	\$205	\$194	6%
Mar '19	\$206	\$202	2%

Average Sales Price vs Average Listing Price

The average sales price as a percentage of the average listing price for properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



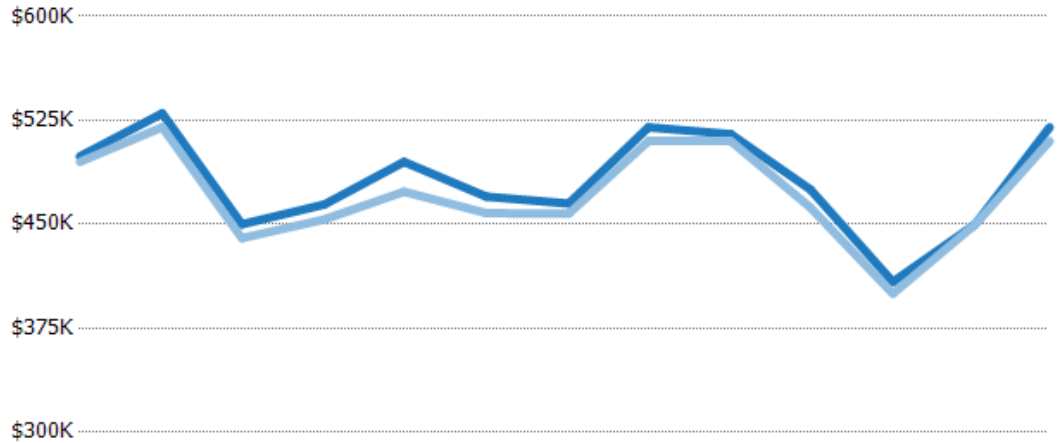
Month/Year	Avg List Price	Avg Sales Price	Avg Sales Price as a % of Avg List Price
Mar '18	\$571K	\$552K	97%
Apr '18	\$563K	\$548K	97%
May '18	\$501K	\$488K	97%
Jun '18	\$534K	\$516K	97%
Jul '18	\$536K	\$519K	97%
Aug '18	\$519K	\$507K	98%
Sep '18	\$548K	\$533K	97%
Oct '18	\$552K	\$538K	97%
Nov '18	\$548K	\$540K	99%
Dec '18	\$551K	\$535K	97%
Jan '19	\$541K	\$520K	96%
Feb '19	\$518K	\$508K	98%
Mar '19	\$532K	\$520K	98%

Median Sales Price vs Median Listing Price

The median sales price as a percentage of the median listing price for properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



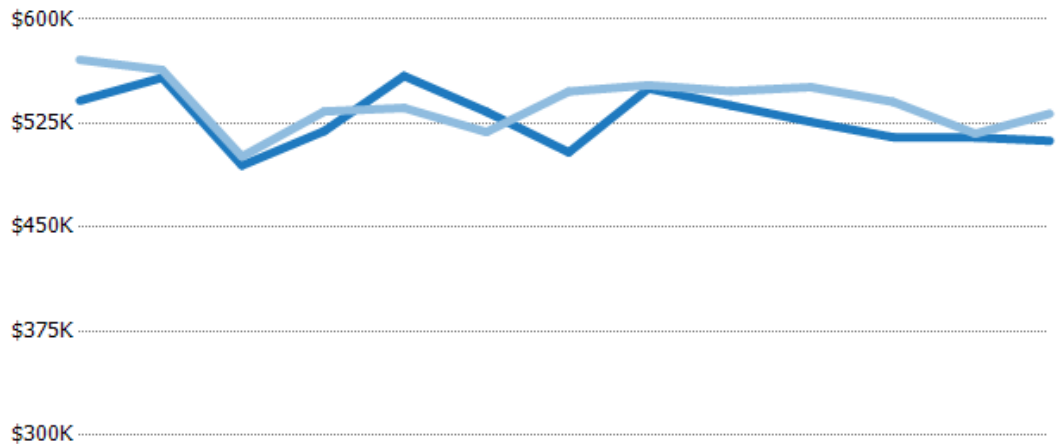
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Median List Price	\$499K	\$530K	\$450K	\$464K	\$495K	\$470K	\$465K	\$520K	\$515K	\$475K	\$409K	\$450K	\$520K
Median Sales Price	\$495K	\$520K	\$440K	\$454K	\$474K	\$458K	\$458K	\$510K	\$510K	\$462K	\$400K	\$450K	\$510K
Med Sales Price as a % of Med List Price	99%	98%	98%	98%	96%	97%	98%	98%	99%	97%	98%	100%	98%

Average Sales Price vs Average Est Value

The average sales price as a percentage of the average AVM or RVM® valuation estimate for properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



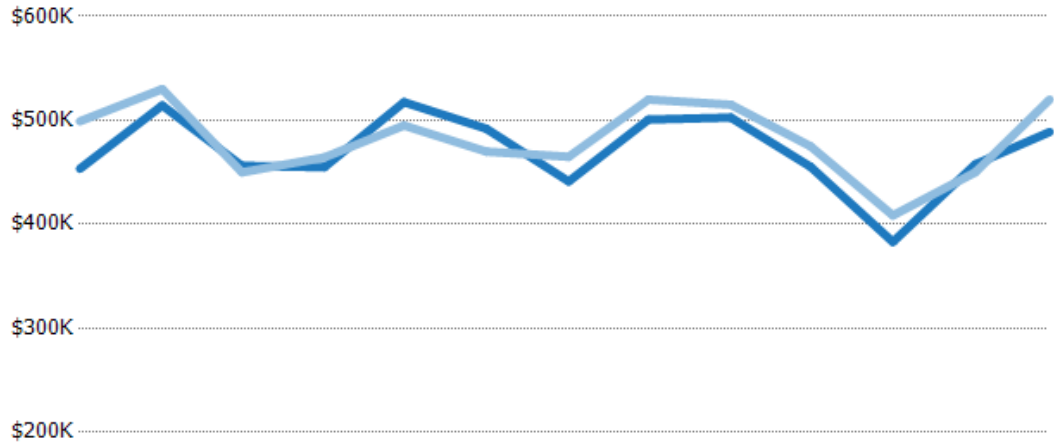
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Avg Est Value	\$541K	\$558K	\$495K	\$519K	\$559K	\$533K	\$504K	\$550K	\$538K	\$526K	\$515K	\$515K	\$512K
Avg Sales Price	\$571K	\$563K	\$501K	\$534K	\$536K	\$519K	\$548K	\$552K	\$548K	\$551K	\$541K	\$518K	\$532K
Avg Sales Price as a % of Avg Est Value	105%	101%	101%	103%	96%	97%	109%	100%	102%	105%	105%	101%	104%

Median Sales Price vs Median Est Value

The median sales price as a percent of the median AVM or RVM® valuation estimate for properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



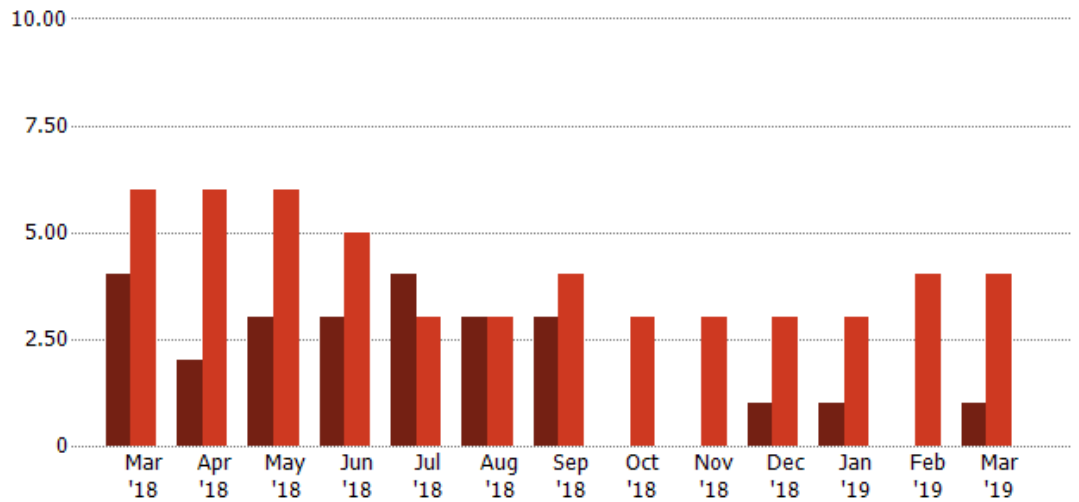
	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Median Est Value	\$453K	\$514K	\$456K	\$455K	\$517K	\$492K	\$441K	\$501K	\$503K	\$455K	\$383K	\$458K	\$489K
Median Sales Price	\$499K	\$530K	\$450K	\$464K	\$495K	\$470K	\$465K	\$520K	\$515K	\$475K	\$409K	\$450K	\$520K
Med Sales Price as a % of Med Est Value	110%	103%	99%	102%	96%	96%	105%	104%	102%	104%	107%	98%	106%

Distressed Listings

The number of distressed residential properties that were for sale at the end of each month.

Filters Used

Custom Area: Cave Creek, Arizona
 Saved Area
 Property Type:
 Condo/Townhouse/Apt, Single
 Family Residence



	Mar '18	Apr '18	May '18	Jun '18	Jul '18	Aug '18	Sep '18	Oct '18	Nov '18	Dec '18	Jan '19	Feb '19	Mar '19
Current Year	4	2	3	3	4	3	3	-	-	1	1	-	1
Prior Year	6	6	6	5	3	3	4	3	3	3	3	4	4
Percent Change from Prior Year	-33%	-67%	-50%	-40%	33%	0%	-25%	-100%	-100%	-67%	-67%	-100%	-75%

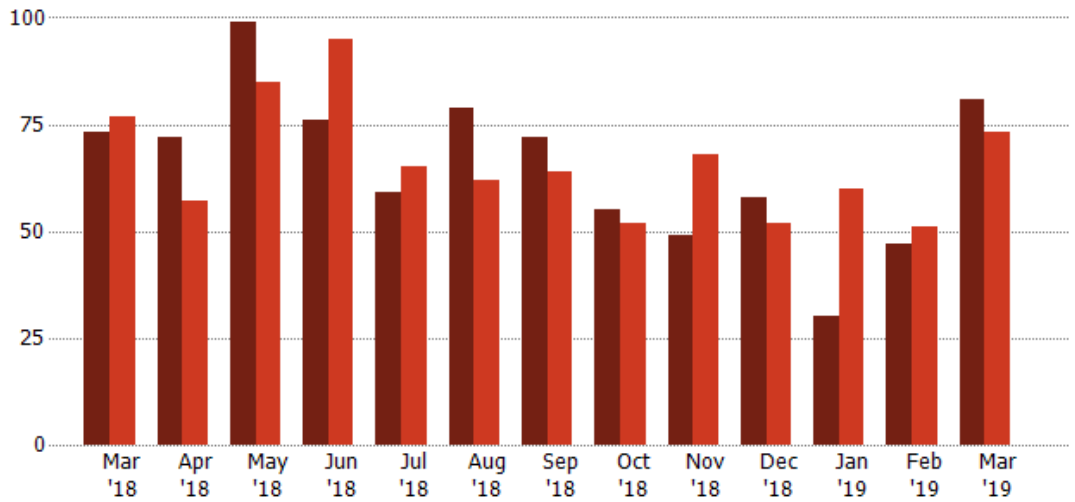
Distressed Sales

The count of distressed residential properties sold each month.

Filters Used

Custom Area: Cave Creek, Arizona
Saved Area
Property Type:
Condo/Townhouse/Apt, Single
Family Residence

Month/ Year	Count	% Chg.
Mar '19	81	11%
Mar '18	73	-5.2%
Mar '17	77	-7.8%



Current Year	73	72	99	76	59	79	72	55	49	58	30	47	81
Prior Year	77	57	85	95	65	62	64	52	68	52	60	51	73
Percent Change from Prior Year	-5%	26%	16%	-20%	-9%	27%	13%	6%	-28%	12%	-50%	-8%	11%



Sales Activity by ZIP

Mar 2019

ZIP	Pendings (Month End)	Pending Volume (Month End)	Sales	Sales Volume	Avg Sales Price	Median Sales Price	Avg Sales Price per Sq Ft	Median Sales Price per Sq Ft	Median Days In RPR
85331	130	\$73,293,429	81	\$42,092,730	\$519,663	\$510,000	\$204	\$202	39